



30 Bevan Street West, Lowestoft, NR32 2AB

Offers Over £90,000





# 30 Bevan Street West

Lowestoft, NR32 2AB

- UPVC DOUBLE GLAZING
- CHARMING COTTAGE FEATURES
- ATTRACTIVE GARDENS WITH ASTRO TURF
- GAS RADIATOR HEATING
- WHITE GLOSS FITTED KITCHEN

**\*\*CHARMING 2 BEDROOM COTTAGE CLOSE TO TOWN\*\*** with 2 good size reception rooms, white gloss fitted kitchen, attractive gardens, gas heating and upvc glazing. E/R E.

## GENERAL REMARKS

Charming 2 bedroom cottage located in Central Lowestoft and within easy walking distance of the town centre. The property has 2 comfortable size reception rooms, together with a white gloss fitted kitchen. In addition, the property benefits from a pretty enclosed rear garden with astro turf for easy maintenance.

## UPVC double glazed door to

**FRONT LIVING ROOM** 12'1" x 11'11" (3.68 x 3.63)  
upvc double glazed window, tiled fireplace with coal effect fitted gas fire, tiled floor, cupboard with gas and electric meters.

**DINING ROOM** 12'0" x 8'10" (3.66 x 2.69)  
upvc double glazed window, cottage stairs to first floor, tiled floor, radiator.

**MODERN FITTED KITCHEN** 11'3" x 5'11" (3.43 x 1.80)  
re-fitted in a range of white high gloss fronted units, one and a half bowl sink unit, recess and plumbing for automatic washing machine, 4 burner ceramic hob, oven/grill, filter hood, tiled floor, upvc double glazed window and matching side door.

**REAR LOBBY** 6'0" x 2'8" (1.83 x 0.81)  
tiled floor, space for upright fridge freezer.

**BATHROOM** 6'7" x 5'9" (2.01 x 1.75)  
cased bath, hot and cold shower mixer, shower screen, vanity washbasin, low level wc, tiled floor, radiator, upvc opaque glazed window.

**STAIRS TO FIRST FLOOR AND LANDING**  
access to roof void.

**BEDROOM 1** 12'1" x 12'1" (3.68 x 3.68)  
upvc double glazed window, radiator.

**BEDROOM 2** 9'2" x 9'0" (2.79 x 2.74)  
upvc double glazed window, radiator, 2 fitted cupboards.

**OUTSIDE**

To the front, the property abuts the pavement. To the rear, attractive enclosed gardens with astro turf, gravelled pathways, timber garden store, external courtesy lighting, additional concrete pathways, water tap, gate providing rear pedestrian access.

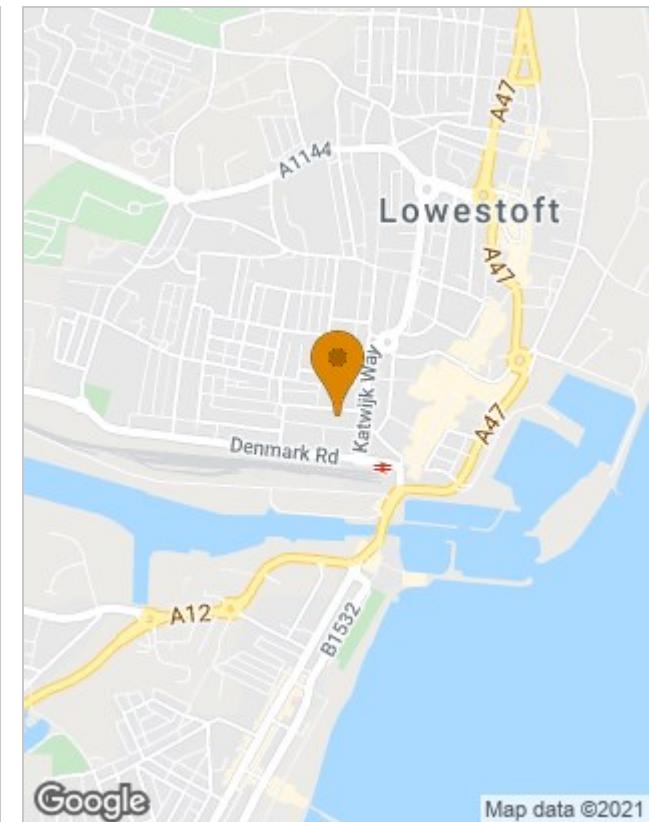


## Floor Plans

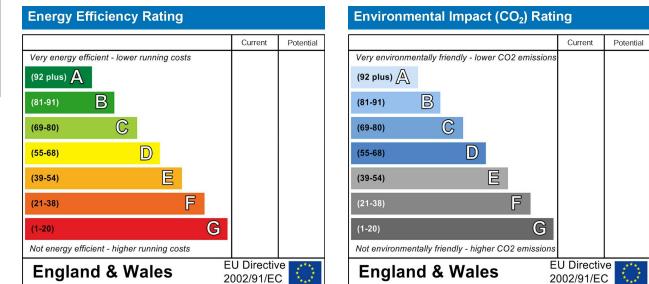


Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission, or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.  
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## Location Map



## Energy Performance Graph



## Viewing

Please contact our Lowestoft Office on 01502 515999 if you wish to arrange a viewing appointment for this property or require further information.

The particulars are set out as a general outline only for the guidance of intended purchasers or lessees, and do not constitute, any part of a contract. Nothing in these particulars shall be deemed to be a statement that the property is in good structural condition or otherwise nor that any of the services, appliances, equipment or facilities are in good working order. Purchasers should satisfy themselves of this prior to purchasing.



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